

House Extensions

Supplementary Planning Document

2026





House Extensions Supplementary Planning Document (SPD)

Contact Details

Planning Policy Team

Planning and Transport Strategy

Halton Borough Council

PO Box 317

Runcorn

WA7 9BZ

Telephone: 0151 511 6458

Email: forward.planning@halton.gov.uk

Website: www.halton.gov.uk/DALP

If you require this document in an alternative format, please contact the Forward Planning Team on the telephone number or email address above.

Disclaimer

The information in this report is provided in good faith and is as accurate as records permit, no guarantee is given regarding any possible errors.

Supporting Documents

- Sustainability Appraisal (SA)
- This SPD forms part of the Halton Local Development Framework. It has not been necessary to prepare a SA as there is no requirement to do so under current Regulations the SPD does not introduce any additional requirements beyond those set out in the LDF and therefore will not cause any significant environmental effects arising from its implementation.
- Strategic Environmental Assessment (SEA) Screening Report
- A SEA and HRA Screening has been undertaken in accordance with the regulations, the SEA Screening Report will be consulted upon alongside this Draft SPD.

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1. PURPOSE, AIMS AND OBJECTIVES

PURPOSE AND AIMS

- 1.1. The purpose of the House Extension Supplementary Planning Document (SPD) is to complement the Halton Delivery and Allocations Local Plan (DALP) adopted in March 2022. The provision of additional guidance will assist anyone intending to extend or alter their house, erect a garage or other outbuildings, ensuring that the proposals meet the policy principles outlined by the DALP.
- 1.2. A significant number of planning applications received by the Council relate to house extensions, and therefore the cumulative impact on an area can be considerable. This document will provide guidance relating to house extensions, alterations or residential conversions to reduce the impact on the local area, even if the applications are only small-scale.
- 1.3. The main objectives of the House Extension SPD is to preserve and enhance local character, ensure amenity of occupiers and neighbours creating high quality design, encouraging people to live in Halton.

NATIONAL PLANNING POLICY FRAMEWORK (NPPF)

- 1.4. NPPF chapter 12 'Achieving well designed places' states that:

'The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve... Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.'

- 1.5. The National Model Design Code sets out a baseline for local design, ensuring that all elements of the National Design Guide are included and acknowledged in design, in particular, looking at elements of identity and local character as set out in this SPD.

LOCAL POLICY – DELIVERY AND ALLOCATIONS LOCAL PLAN

1.6. The key objectives and aims of this SPD are set out in policy RD3 in the DALP. This document expands on this policy, providing specific guidance for all types of house extensions and alterations:

DALP 2022 Policy RD3 Dwelling Alterations, Extensions, Conversions and Replacement Dwellings

1. Proposals for dwelling alterations, extensions, conversion and replacement dwellings outside the Green Belt will be supported where they:

- a. Retain the character of the existing property, its setting and the surrounding residential area;
 - This will include consideration of the siting, scale, design, and materials to be used;
- b. Will not have a significant adverse impact on the amenity and living conditions of occupants of neighbouring properties; this will include consideration of;
 - The potential for overlooking and the preservation of appropriate privacy distances; and
 - The loss of sunlight or daylight to neighbouring properties; and
 - The dominance or overbearing nature of the extension.
- c. Enhance, provide or maintain safe highway conditions for pedestrians, cyclists and motor vehicles;
- d. Will not result in isolated residential development;
- e. Provide, or retain, sufficient parking within the curtilage of the property, where applicable;
- f. Provide, or retain, adequate storage for recycling, refuse and cycles;
- g. Retain outside access to the rear of the property; and they
- h. Provide, or retain, a reasonable amenity space.

COMPLY OR JUSTIFY

1.7. The guidelines and principles noted in this document are designed to support the principle of 'Comply or Justify'. This means that proposals which follow these guidelines closely are more likely to progress through the planning process quickly, and with more success.

1.8. Applications that deviate from the guidance are expected to justify in detail why this is not possible/proposed. Consequently, the Council may be able to provide further advice and where possible work to find a solution that meets Policy.

1.9. Exceptions may be considered for an extension to provide basic amenities or facilities at ground floor level for a person with disabilities. However, where possible, the extension should be designed to comply with the guidance. In circumstances where the guidance cannot be

adhered to, proof of disability and a written statement justifying why an exception will be required.

1.10. Halton Home Improvement Agency (HIA) helps people with disabilities make their homes safer and more accessible by supporting them through the Disabled Facilities Grant (DFG) process. Once referred by an Occupational Therapist or Community Care Worker, HIA handles the full adaptation process: drawing plans, securing permissions, obtaining quotes, submitting grant applications, appointing contractors, supervising the work, and arranging payment on completion.

1.11. Should the DFG be applicable, it can be used to help fund the cost of essential home adaptations such as ramps, widened doorways, accessible bathrooms, lifts, or adapted kitchens, enabling greater independence at home.

1.12. It is important to note that these extensions are only approved when no other options to adapt within the footprint of the property are feasible.

APPLICATION OF THE POLICY

1.13. The definition of “dwelling” or “house” in the policy includes bungalows but excludes apartments or maisonettes. “Extension” means all additions to the house whether attached or not and includes garages and outbuildings.

1.14. This House Extension SPD also applies to:

- i. Houses that are Listed Buildings and buildings in Conservation Areas.
- ii. Houses in the Green Belt.

1.15. However, due to the special characteristics of these areas, more stringent controls may need to be applied.

2. PLANNING APPLICATION GUIDANCE

PRE APPLICATION GUIDANCE

- 2.1. Whilst using this SPD for guidance, if there is any confusion, the council offers a paid pre-application service [What you can expect from your pre-application advice](#). This can lower overall cost and identify issues early on which can then be addressed before the Full application.

PERMITTED DEVELOPMENT

- 2.2. If you live in a house, you may be able to make certain types of minor changes to your home without needing to apply for planning permission. These rights are called 'Permitted Development rights'.
- 2.3. These Permitted Development rights allow some forms of extensions, alterations, and outbuildings, however these are subject to size restrictions.
- 2.4. In these cases, it is your responsibility to check if your development would be applicable under Permitted Development rights.
- 2.5. In some cases, development is more restricted, so Permitted Development Rights will not apply. This applies to properties that are: Listed or in the grounds of a Listed Building; in a Conservation Area; and/or has had the Permitted Development rights removed.
- 2.6. Further information in relation to planning permissions and Permitted Development rights can be found in the Ministry of Housing, Communities and Local Government (MHCLG) document '[Permitted development rights for householders: technical guidance](#)' or on the Planning Portal website at www.planningportal.gov.uk or on the Council's website at [Browse: Planning, Housing & Environment information](#).
- 2.7. If you are in any doubt as to whether you require planning permission, please email Dev.Control@Halton.gov.uk

LAWFUL DEVELOPMENT CERTIFICATES

- 2.8. Lawful Development Certificates provide formal confirmation that an existing or proposed use does not require planning permission. Although not mandatory, the Local Planning Authority can grant a Lawful Development Certificate if the appropriate legal tests have been met.
- 2.9. You may wish to apply for a Lawful Development Certificate to check if your development needs planning permission, or if you have carried out development without realising it needs planning permission.
- 2.10. More information on Lawful Development Certificates can be found within the MHCLG document '[Lawful Development Certificates](#)'.

WHAT TO SUBMIT WITH YOUR PLANNING APPLICATION

2.11. When you are preparing your application, you should include the following information:

- The planning application form should be completed online at www.planningportal.gov.uk
- The location plan, (OS based) showing:
 - Your property in relation to neighbouring properties and streets
 - Its position in the street, with numbers of nearby houses clearly indicated, to scale of not less than 1:1250.
 - You should outline the boundaries of your property up to the highway boundary (including land to the front, rear and sides) in red.
 - Any other adjoining land in your ownership should be outlined in blue. An arrow pointing north should also be visible on the plan.
 - The location plan should include a minimum of 2 street names.
- The floor plans and elevations of the house as existing to a scale of 1:100 or 1:50.
- Scaled proposed floor plans and elevations should be to a scale of 1:100 or 1:50, with room space uses clearly labelled.
- A block plan, showing:
 - A scale of not less than 1:500 showing the distances from the extension to your plot boundaries and showing any other features such as trees, outbuildings.
 - The relationship of the extensions to neighbouring windows. It should also show the means of access, parking arrangements and bin storage.
 - Note the block plan should be based upon accurate survey measurements. On sloping sites, plans showing proposed levels may be required.
- A covering letter with any other relevant information in support of your application.
- A completed certificate of ownership, signed and dated.

2.12. If you are not the sole owner of all the land to which the application relates the owner/s or any other person with an interest in the land e.g. overhanging/boundary must be told about your application, this is done by serving Notice to all neighbours/interested/affected [notice1.pdf](#).

2.13. All applications requiring planning permission must be accompanied by the appropriate fee, which must be submitted with the application forms and plans. Unless the fee is correct, and the forms and certificate are correctly filled in, including accurate plans, the application cannot be registered and will be returned.

The advice contained in this document is not binding in every case, so there may be occasions where special site characteristics warrant further information. Officers will always be pleased to advise.

If you build something, which needs planning permission, without obtaining it first, you may be forced to put things right at a later date. This may prove troublesome and costly. You might even need to remove an unauthorised building!

BLOCK PLAN GUIDANCE

2.14. A block plan is useful evidence in supporting the planning application. This is a site assessment which outlines the character of the plot itself, and of the neighbouring properties, roads or boundaries. The block plan should show:

- The relationship of the extensions to neighbouring windows. It should also show the means of access, parking arrangements and bin storage.
- The block plan should be based upon accurate survey measurements. On sloping sites, plans showing proposed levels may be required.
- The existing house, including, garden space, boundaries, trees, access, or any special designations
- Surrounding area such as street scene, street furniture, highway service verge etc.
- Any wider designations e.g. Tree Preservation Order, Flood risk area, Conservation area or Green Belt
- Any areas that could be subject to overlooking.

2.15. Submission of the block plan outlining these considerations may reduce the need for future clarification, expediting the planning process.

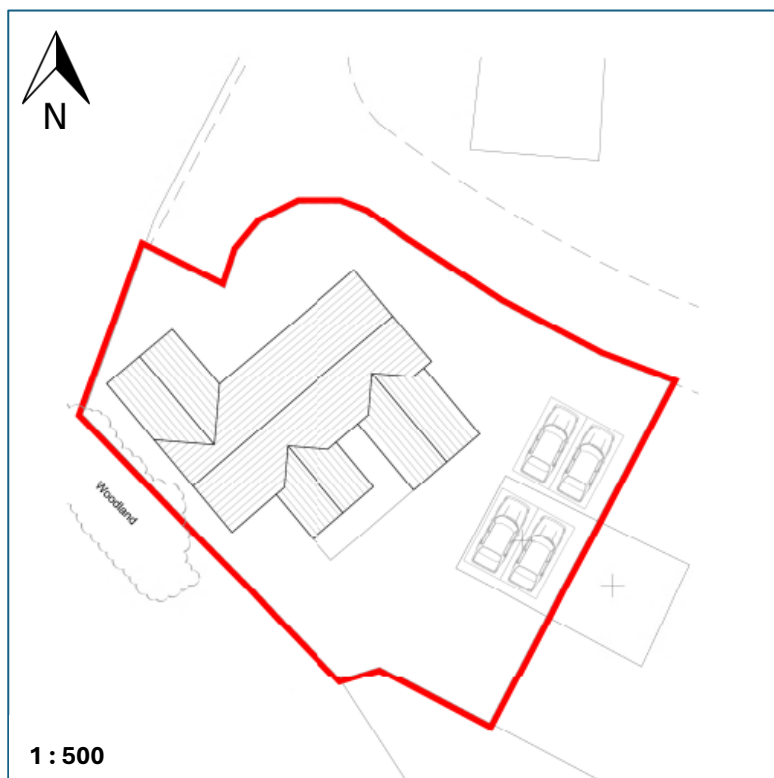


Diagram 1: example block plan



Diagram 2: example site plan

NEIGHBOURS

2.16. Before submitting your application, it is recommended that you consult neighbours affected by your planning proposals prior to submitting the plans to the council. This may facilitate minor amendments and resolve any unknown issues. In any event, the Council will formally notify neighbouring properties when a period of 21 days is allowed for comments to be made in writing to the Council.

UTILITIES INFRASTRUCTURE

2.17. It is recommended that any applicant check for utilities in and around the proposal site. These may restrict where extensions can be built. Applications which are submitted without checking this may lead to higher costs in the future.

INDIVIDUAL RESTRICTIONS

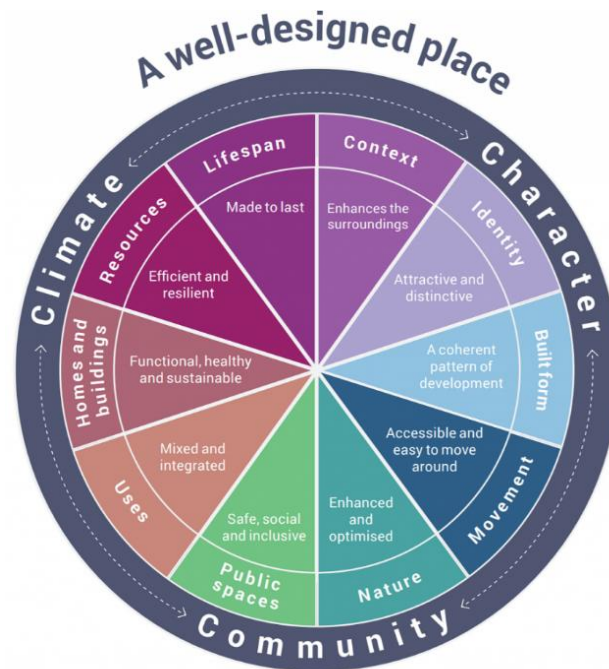
2.18. It is important to check if your property has any restrictions before carrying out the development. These could be previous conditions, Listed Building status, Conservation Area or Tree Preservation Orders on your plot.

3. GUIDING PRINCIPLES

NATIONAL DESIGN GUIDE

3.1. The National Design Guide provides guidance on creating well designed places. Its fundamental principles look at design that is: fit for purpose, durable, and brings delight. This can be achieved through consideration of the ten characteristics:

1. Context
2. Identity
3. Built form
4. Movement
5. Nature
6. Public spaces
7. Uses
8. Homes and Buildings
9. Resources
10. Lifespan



SUSTAINABLE DEVELOPMENT

3.2. Halton encourages sustainable development through policy CS(R)19 of the Halton Delivery and Allocations Plan (DALP).

3.3. Guidance on Building Regulations can be found on the Halton Borough Council website [here](#). These set out guidelines which follow sustainable development.

BUILDING IN CONTEXT

3.4. The belief underlying 'Building in context' is that the right approach is to be found in examining the context for any proposed development in great detail and relating the new building to its surroundings through an informed character appraisal. It suggests that a successful project will:

- Relate well to the geography and history of the place and the lie of the land;
- Relate to the underlying history and culture of the area;
- Sit happily in the pattern of existing development and routes through and around it;
- Respect important views;
- Respect the scale of neighbouring buildings;
- Use materials and building methods which are as high in quality as those in the original dwelling;
- Create new views and juxtapositions which add to the variety and texture of the setting.

4. GENERAL PRINCIPLES FOR ALL EXTENSIONS

DESIGN IN RELATION TO EXISTING DWELLINGS

4.1. An extension should relate closely to, and harmonise with the existing building in its scale, proportions, materials and appearance. In particular:

- The size of the extension should be subordinate to the size of the dwelling as first built.
- The external materials used should closely harmonise with those of the existing dwelling in their design (see diagram 3).
- On prominent elevations, problems of bonding old with new brickwork on the same plane should be overcome by setting the extension back from the main wall of the dwelling.
 - The roof of an extension should be pitched to match that of the existing dwelling.
 - Flat roofs are not usually acceptable, except where they are a feature of the original dwelling house, or where they are not visible from the streetscene (see diagram 4).
 - The windows of any extensions should be in line, both horizontally and vertically, and should match their proportions, size and design.
- The extension should not extend beyond the build line and remain in line with the existing dwellings.



Diagram 3: Poor choice of external materials for the extension.



Diagram 4: Examples of side extensions – one with an appropriate pitched roof and well-matched windows, and one with an inappropriate flat roof and poorly matched windows.

HOW AND WHERE TO EXTEND

4.2. A basic principle to follow is that extensions should respect the style and character of the original house and not overwhelm it.

4.3. The position of the dwelling within its plot will be one of the most important considerations. The choice of how and where to extend will depend upon a variety of factors, for example:

- Is there more space at the side or at the rear?
- How will the extension relate to the internal arrangement of the house?
- Does the extension impact the amenity of a neighbour, or is it in close proximity to a habitable window?

4.4. For dwellings in substantial plots, there may be several options where an extension can be accommodated. The proposals which have the least impact on neighbouring properties are the most widely accepted. However, in Green Belt settings there will be additional restrictions.

EFFECT ON THE STREET SCENE AND CHARACTER OF THE AREA

4.5. Apart from its relationship to the existing house, an extension should not be visually detrimental to the existing character or appearance of the street scene or the surrounding area. In particular:

- Where a house is one of a group that is similar in appearance and significant in the street scene, the effect of an extension to that house on the appearance of the group, as well as the individual house should be carefully considered.
- An extension should respect any regularity and width of spaces between existing houses. The regularity of these spaces can have a significant impact on the street scene.
- Similarly, regular distances between the road and the front walls of existing houses should be respected.
- An extension at the rear of a dwelling should not be so extensive in relation to the size of the garden or yard. An overly enlarged house could contribute to overdevelopment, which may be out of character with the area.

AMENITY OF NEIGHBOURS

4.6. An extension should respect the standards of daylight and privacy experienced by neighbours.

With regard to design, this means that:

4.7. Requirement for minimum of 7 metres from the property's boundary to a first floor habitable room window

- Where habitable windows will allow views to other habitable windows of a neighbouring property, a minimum distance of 21 metres should be maintained (see diagram 5)

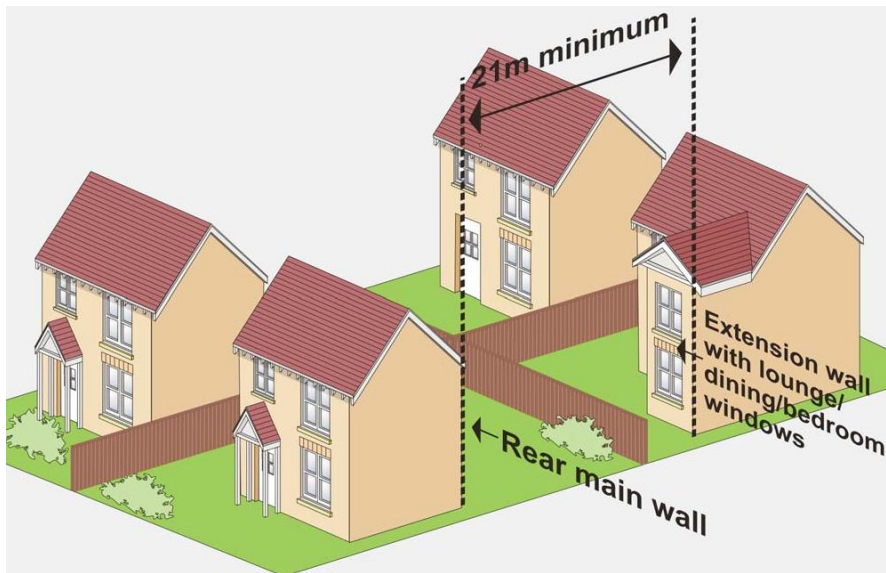


Diagram 5: 21 metres between facing habitable windows.

- Where habitable windows directly face a blank elevation, a minimum distance of 13 metres should be maintained (see diagram 6).

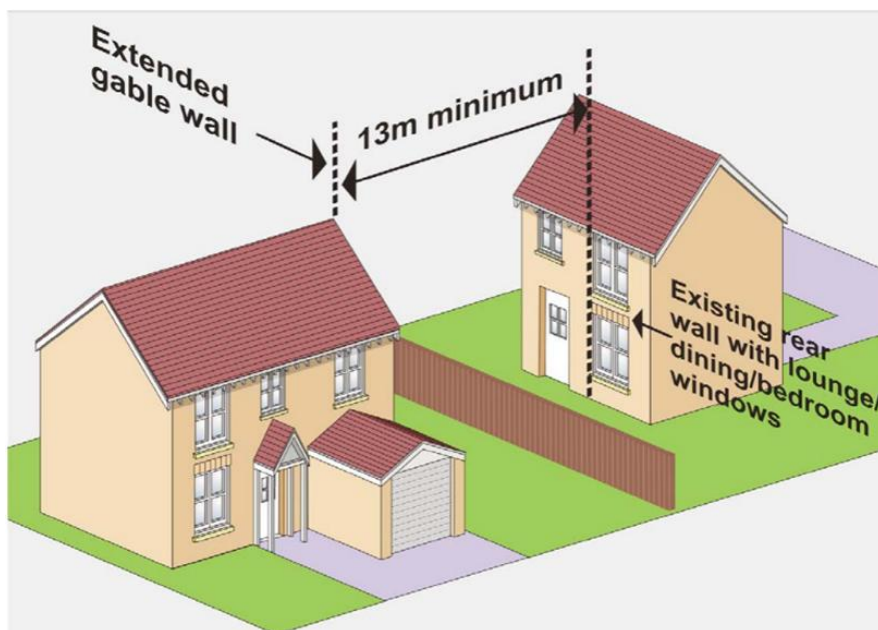


Diagram 6: 13 metres between habitable windows and blank wall

- Where the house concerned is more than two storeys, the Council will normally apply a further 3 metres for each additional floor in addition to the distances stated above. For example, a three-storey house will normally require 16 metres (13m + the additional 3m) between a habitable window and a blank elevation. Alternatively, 24 metres (21m+3m) will be required between facing habitable windows.

Storeys	Distance (facing blank elevation)	Distance (Facing habitable windows)
2	13	21
3	16	24
4	19	27

- Where there are differing land levels, this distance may need to be increased to account for differences in height.

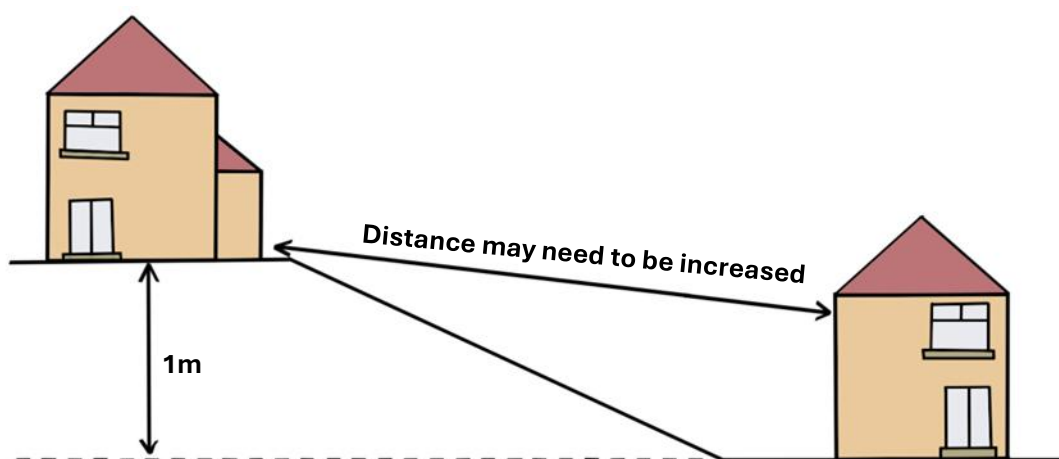


Diagram 7 showing differences in land height may require a further distance between habitable windows , due to a larger degree of overlooking.

- Any raised patio area or balcony at first floor level have the potential for an unacceptable degree of overlooking and are strongly discouraged.
- The Council uses the '45-degree rule' to help assess impact upon the amenities of the neighbouring properties and to protect from overshadowing or obstruction, caused by extensions on or close to the boundary. The code is principally applied to single storey rear extensions and single-story side extensions where building lines are staggered (see diagrams 8, 9 and 10).
- To calculate the '45 degree rule', the 45-degree line shall be drawn in the horizontal plane, and taken from the middle of the neighbour's window. The line will show the maximum width and / or depth that a proposed extension can build up to avoiding obstruction from light or views.

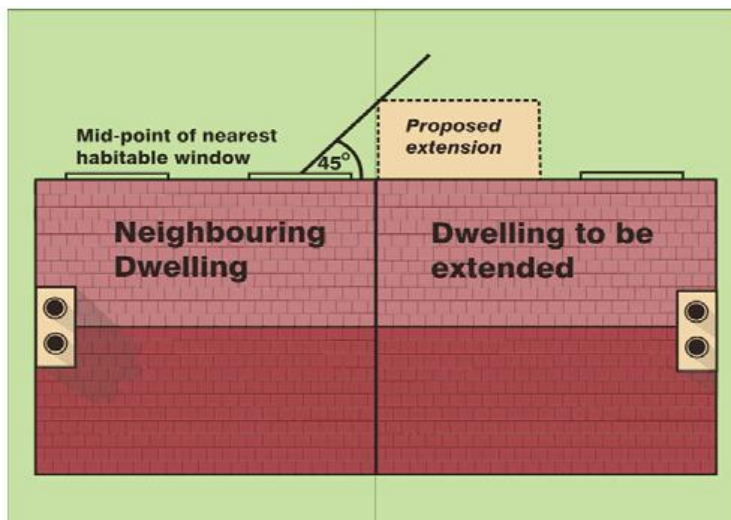


Diagram 8: The '45-degree rule' applied to a semi-detached or terraced property

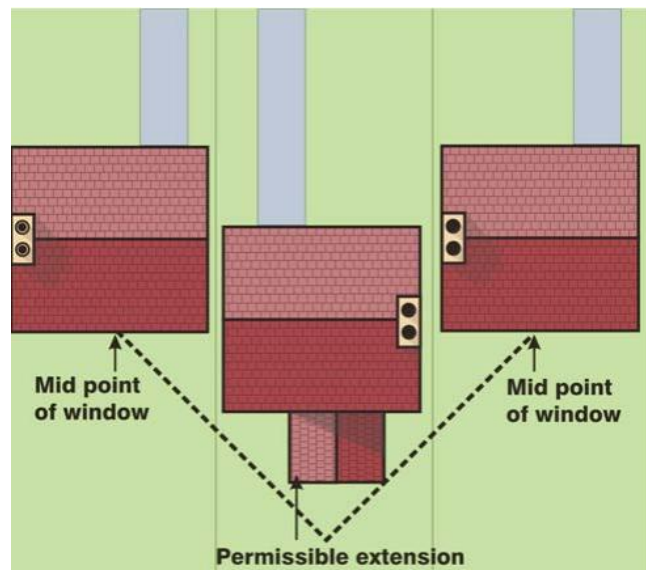


Diagram 9: The '45-degree Rule' applied to staggered properties

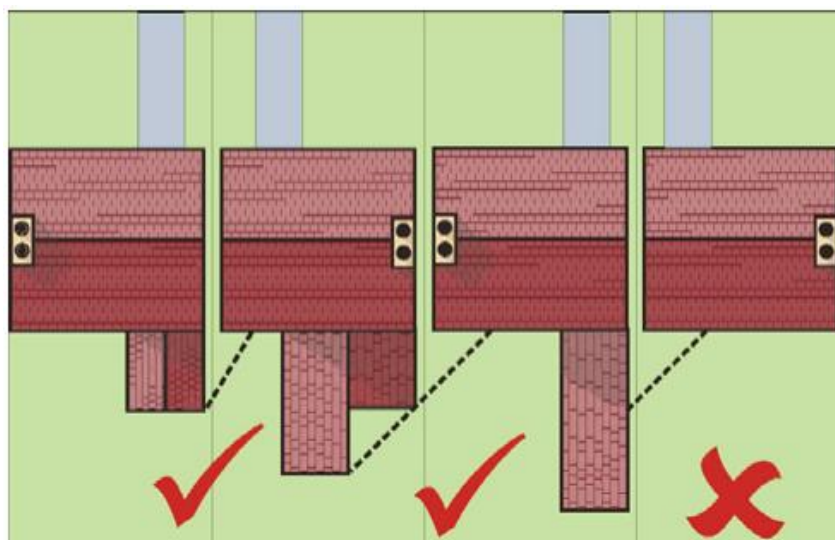


Diagram 10: The 45-degree rule applied to a detached property.

5. SPECIFIC GUIDANCE

PORCHES AND FRONT EXTENSIONS

5.1. The front elevation of a building is important in creating a harmonious streetscene. Without a continuous front elevation, the character and context of the area can be significantly altered.

5.2. Front porches can sometimes be built under Permitted Development, however we recommend that you seek advice from the Planning Authority.

5.3. Front extensions will require planning permission, therefore these principles will apply:

- Front extensions should respect the existing property, and neighbouring properties, regarding design, size and siting.
- Any extension to the front elevation must be designed to harmonise with the existing property.
- If the buildings on the street follow an established pattern or clear building line, front extensions are more likely to be considered to adversely affect the appearance of the street scene.
- Proposals should not result in the loss of existing parking provision.
- Where planning permission is required, conversions of integrated or attached garages at the front of the house will not normally be allowed if two off road parking spaces cannot be provided. More information on parking requirements can be found in 'Parking and Garage Conversions'
- Porch extensions should also match the original design of the property, including roof pitch materials.
- The height of the porch should not exceed the sill height of the first-floor windows.



Diagram 11: Inappropriate porch extension

NOTE : Be aware that highway service verges may apply to your property. These strips of land cannot be developed on and may incur extra fees. You may be required to remove your development if they are built on.

SIDE EXTENSIONS

5.4. To avoid terracing and / or an unbalanced effect, two storey and first floor side extensions to a semi-detached, linked detached or end terrace property, should incorporate the following principles:

TWO STOREY SIDE EXTENSION

- The extension should not exceed more than 50% of the width of the frontage of the original dwelling.
- A minimum of 800mm should be retained between the sidewall of the extension and the inside of the plot boundary to allow for access to the rear for bin and cycle storage, and to prevent terracing (diagram 12).
- The extension should be set back a minimum of 1 metre from the main front elevation of the existing dwelling.
- The roof of the extension should have a lower ridge height, than the existing house.
- A minimum of two off road car parking spaces should be provided.
- The use of obscure glazing to avoid overlooking may be permitted when used in non-habitable rooms but is unlikely to be acceptable for a primary window in a habitable room.



Diagram 12: Good side extension with 800mm retained between the sidewall of an extension and the plot boundary

5.5. This policy is designed to prevent extensions at the side of detached or semi-detached houses from joining up with neighbouring houses to create a continuous terrace effect. Whilst there is nothing wrong with terraced housing, the aim of the policy is to protect street scene and the character and amenity of areas that were originally designed and laid out as detached or semi-detached developments (diagram 13 and 14).



Diagram 13: Good side extension. Set back 1m and with lower ridge height.



Diagram 14: Inappropriate side extensions which have led to a 'terracing effect'.

5.6. Such areas can provide attractive views between houses to trees and the scene beyond, and they permit the penetration of sunlight and daylight into the street and into gardens and rooms opposite the gaps. Closure of these important gaps between dwellings can alter the character of a residential street leading to a reduction in the sunlight enjoyed by residents and passers-by.

5.7. For detached properties the lower ridge height and first floor front elevation set back may not be required, therefore justification must be provided. This will be evaluated on a case-by-case basis.

5.8. This policy also ensures that the extension is subordinate to the existing dwelling and harmonises with it.

SINGLE STOREY SIDE EXTENSION

5.9. To avoid terracing and / or an unbalanced effect, single storey side extensions to a semi detached, linked detached or end terrace property, should incorporate these same principles.

5.10. The roof should complement the original roof pitch and style of the host dwelling.

CORNER PLOTS

5.11. Dwellings on corner plots can play an important part in defining the character of an area.

5.12. Corner plots should remain open, with clear views to be seen when travelling around the corner. The Council will normally expect all extensions on corner plots (single and two storeys) to meet all the following criteria:

- Corner extensions should not project beyond the front elevations of those properties on adjacent roads and may require an additional set back from the front of the host dwelling (see diagram 15).
- The width of the extension should not be more than half the width of the original frontage of the property.
- The width of the extension should not be more than half the width of the garden plot, located between the property and adjacent highway.

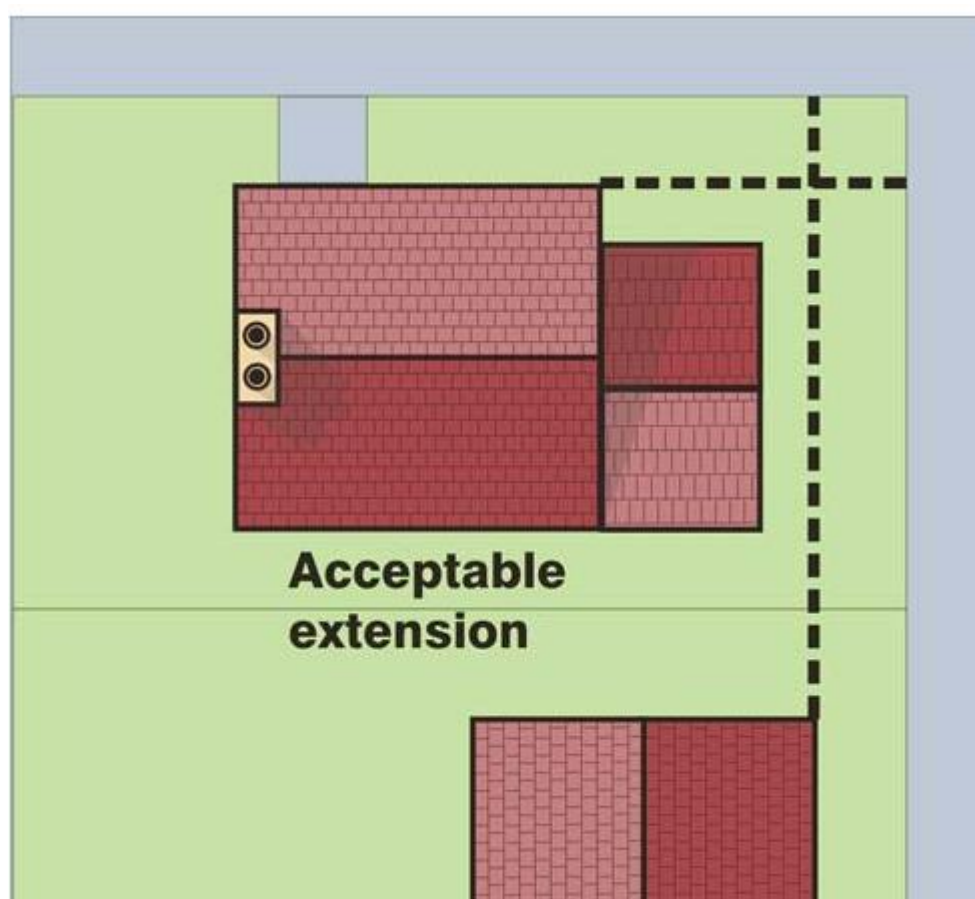


Diagram 15, showing an appropriate corner extension not projecting beyond either property front elevation

REAR EXTENSIONS

5.13. When considering rear extensions, the Council will use the 45-degree rule (see page 15). This will help to assess the impact of any rear extension upon the amenities of the neighbouring properties and to protect them from overshadowing or obstruction, caused by extensions on or close to the boundary.

SINGLE STOREY REAR EXTENSION

5.14. These principles apply to single storey rear extensions:

- An extension will not normally be allowed if it projects more than a 45 degree line from the middle of the nearest affected neighbouring window or exceeds a maximum of 4 metres, whichever is the least.
- To comply with the 45-degree rule, extensions should be designed in order to not cross the 45-degree line from the neighbour's nearest habitable room window. The 45-degree line shall be drawn in the horizontal plane, and taken from the middle of the neighbour's window. The line will show the maximum width and / or depth that a proposed extension can build up to avoiding obstruction from light or views (see diagram 16).
- When assessing a single storey rear extension, the Council will consider the impact on the neighbouring property and take into account differences in land levels.
- The Council will also take into consideration the height of a proposed extension when assessing an application.
- Consideration will also be given to the amount of remaining garden space.

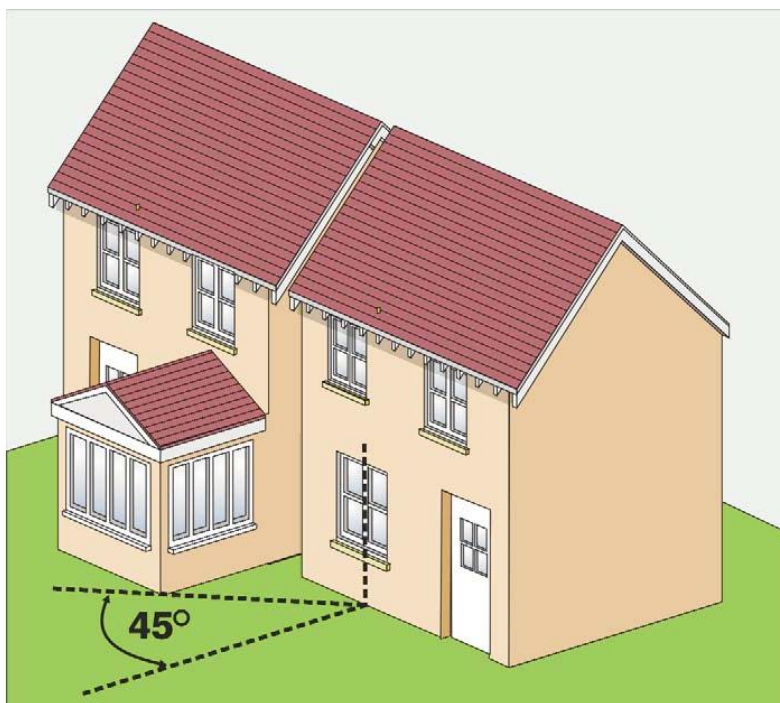


Diagram 16: 45-degree rule in relation to single storey rear extension

TWO STOREY REAR EXTENSIONS

5.15. The following principles apply to two storey rear extensions:

- Two storey extensions along shared boundaries shall not project at first floor level by more than 2 metres.
- In any other case, the following sizes shall be applied:

Distance between extension and adjoining property	Maximum projection at first floor level
1m	2.5m
2m	3m
3m or more	4m

- The maximum projection will always be measured from the rear building line of the relevant neighbour's property. This is particularly important to note when properties have a staggered building line (diagram 17).

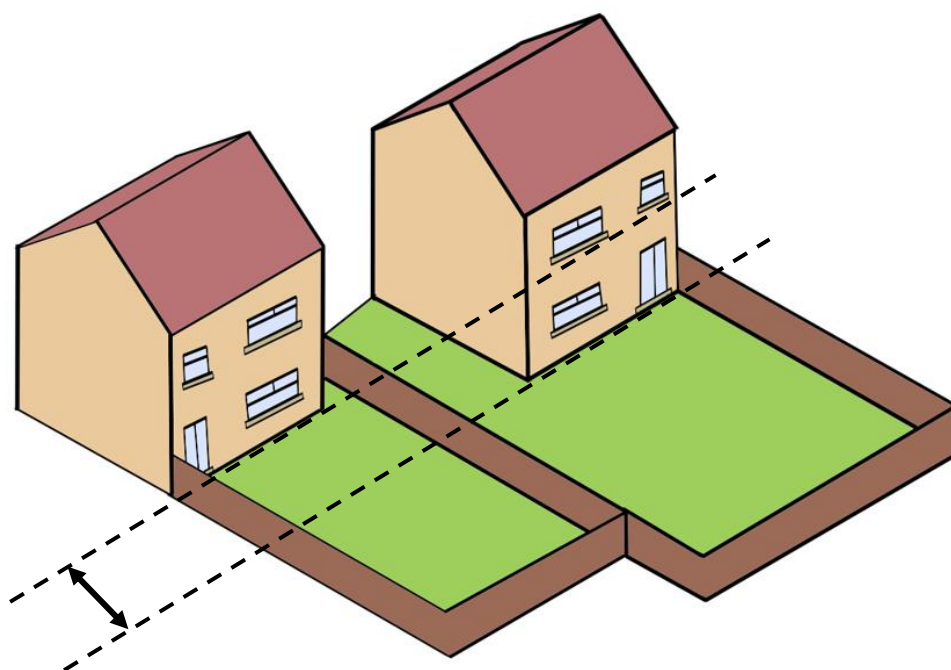


Diagram 17: showing where rear extension can be measured from in a staggered building line.

ROOFS, DORMERS, CHIMNEYS AND LOG BURNERS

DORMER EXTENSION

- 5.16. Wherever possible dormer windows should be restricted to the rear of the dwelling in order to preserve the character of the streetscene. This may not be so important where front dormers are already a common feature of other buildings in the street.
- 5.17. Side dormers will not normally be permitted, especially where they allow overlooking or impacting the neighbour's amenity.
- 5.18. Front dormers will not normally be permitted, unless they are already a feature of the streetscene.



Diagram 18: Examples of dormer window extensions

- 5.19. Where dormers are on the front or rear elevation of the dwelling or readily visible from public space, their scale and design are particularly important, and the following criteria will apply:
- They should not normally exceed more than one third of the width of the roof.
 - They must not project above the ridge of the roof.
 - Dormers which wrap around the side ridges of a hipped roof are not acceptable.
 - The face of a dormer should be set back by a minimum of 1 metre behind the main wall.
 - A dormer should not extend to the full width of the roof, but should be set in from the side/ party walls. Two smaller dormers may be better than one large one.
 - Dormer windows should vertically line up with existing windows and match their style and proportions (see diagram 18).
 - Flat dormer roofs are usually seen to be aesthetically inferior, but may be acceptable if they complement the surrounding street scene, are small in size and well designed.
 - Dormer cheeks should normally be clad in materials to match the existing roof.

CHIMNEYS, FLUES AND LOG BURNERS

5.20. Alterations which include the addition of chimneys and log burners can significantly impact the character of the area if they are not a common trait.

5.21. Planning permission must be obtained if the chimney or flue exceeds the highest part of the roof by 1 metre. They would also require planning permission if the house is located in a Conservation Area.

BALCONIES AND TERRACES

5.22. Any balconies or terraces are generally not permitted, as they encourage overlooking. They should be avoided in order to protect the private amenity of the neighbours.

5.23. The location of the balcony or terrace should be carefully considered, as those that compromise the privacy of habitable windows of neighbouring homes will not be permitted.

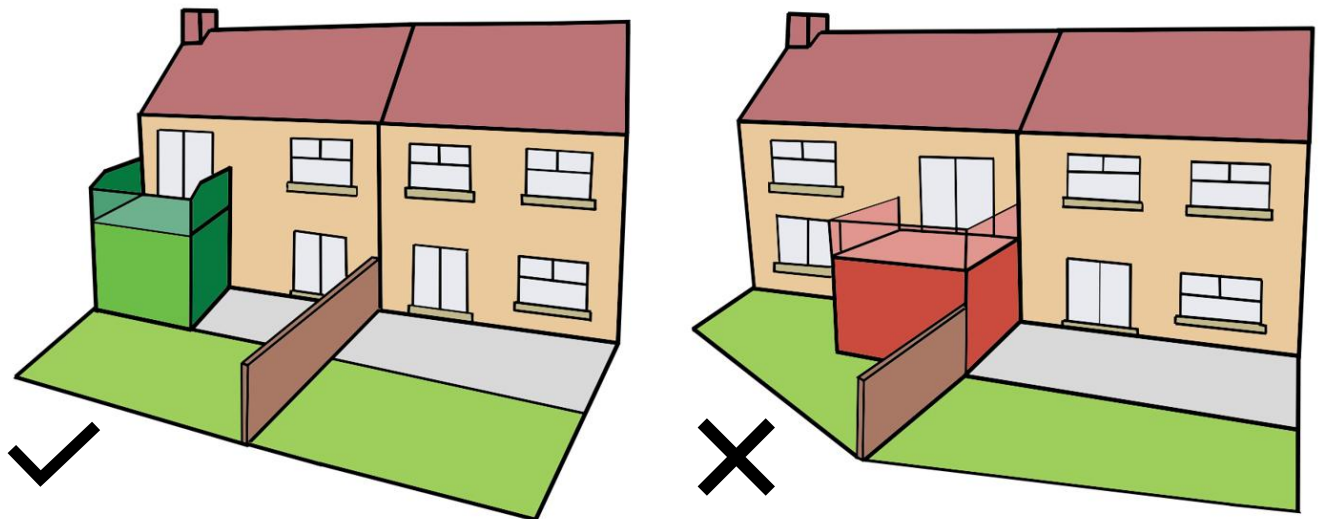


Diagram 19: acceptable and unacceptable balconies and terraces.

5.24. Privacy screens and obscure glazing may be used, ensuring that overlooking to neighbouring properties cannot take place.

PARKING AND GARAGE CONVERSIONS

PARKING

5.25. Extensions will not normally be allowed if they have the potential to reduce off-road parking. In most circumstances a minimum of two off-road parking spaces should be provided. Where the extension or alteration will create a 4 + bedroom property, three off road parking spaces will be required unless there are other material considerations.

Bedrooms	Number of off-road parking spaces required
1	1
2 and 3	2
4+	3

5.26. The size of a parking space should be a minimum of 2.5m x 5m, in accordance with the DALP.

5.27. It is preferable that at least one parking/ garage space is provided behind the building line, and that the driveway can accommodate at least one vehicle length of 5 metres. This should not include any service verge or footpath.

5.28. Property boundaries, including extensions should be 300mm clear of the highway boundary (including footpath and service verge) so that foundations do not interfere with service apparatus.

5.29. Where there is no other provision for cycle storage or bin storage (e.g. from the removal of this space from a side extension), the garage is the most suitable place for this. A minimum of 7 x 3 metres provides adequate space for this, should no other provision be found.

5.30. An extension should not be constructed in a position where it would block the view of the highway for road users. This can create a negative impact on highway safety, increasing the risk of collision.

5.31. Any questions regarding parking or vehicle crossings should be directed to TransportPolicy@Halton.gov.uk

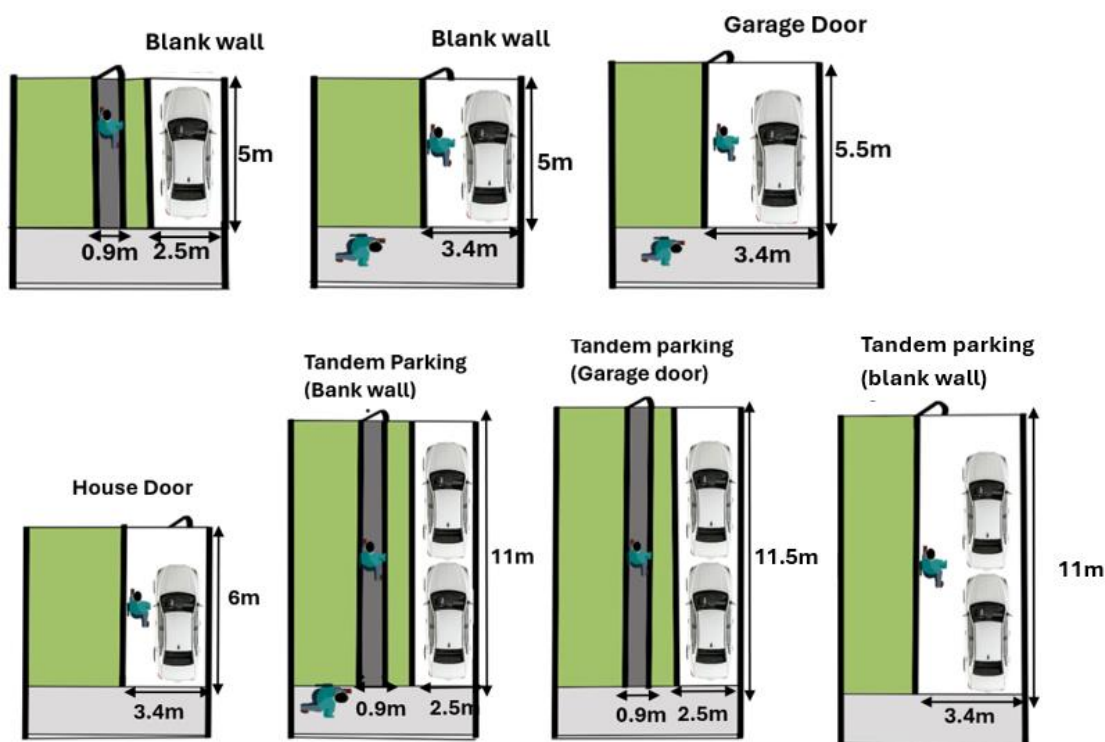


Diagram 20: acceptable parking sizes with different variations of driveways and front gardens.

GARAGE CONVERSIONS

5.32. Where a garage can provide a parking space, an additional 1 metre should be applied where adequate means of escape needs to be provided. Where space is restricted the use of roller or sectional garage doors which require less space may be more appropriate than 'up and over' doors.

5.33. Consideration of parking arrangements is particularly important if you are thinking of either converting an integrated or attached garage to living accommodation or building on or over an existing garage or driveway. Where a garage is intended for parking space, the minimum garage size should be 6 x 3 metres to be used as a parking space.

NOTE: A single garage generally provides one parking space. A double garage also provides one parking space, with additional space for bike and bin provision.

5.34. Where an extension will remove front to rear bin access, additional screened bin storage should be considered in the proposal.

5.35. Extensions and conversions which prevent the parking of cars within the curtilage of the dwelling will not be acceptable.

NEW OPENINGS

- 5.36. Any new openings such as windows and doors should match the existing style and proportion of the existing house. Windows should be in line with existing windows and should match the existing methods of opening and closing.
- 5.37. Any new openings should not allow overlooking to neighbouring properties. This is relevant to particularly first floor side windows, which generally will not be permitted due to risks of overlooking, unless they are obscurely glazed and non-opening or the parts of the window which can be opened are more than 1.7 metres above the floor of the room in which the window is installed.
- 5.38. The use of obscure glazing to avoid overlooking may be permitted when used in non-habitable rooms but is unlikely to be acceptable for a primary window in a habitable room, e.g. a bedroom.

OUTBUILDINGS

- 5.39. Any new outbuildings should respect the scale and character of the existing buildings, and any other similar structures in the area.
- 5.40. Outbuildings will be considered based on their potential for overlooking and overshadowing of neighbouring properties.
- 5.41. In order to not have a significant impact on the streetscene, the outbuilding should be set back behind the building line.
- 5.42. Enough private amenity space should be retained, respective to the size of the dwelling.
- 5.43. Permitted Development rights can also apply to outbuildings. It is important to differentiate between incidental and ancillary to determine whether planning permission is required (For more information on this please see [Permitted development rights for householders: technical guidance - GOV.UK](#))

CYCLE STORAGE AND REFUSE

- 5.44. Allowances for cycle storage and refuse storage should be considered within the proposal. A minimum of 800mm should be retained between the sidewall of the extension and the inside of the plot boundary away from the streetscene where garage space is not provided for this.

TREES AND GARDEN SPACE

- 5.45. Proposals that would require the felling of tree in the following categories are very rarely considered to be acceptable:
- Protected trees (Tree Preservation Order).
 - Trees located in conservation areas.

- Contribute significantly to the character of an area or that could endanger a tree's health (for example by severing its roots).

5.46. Instead, alternative methods of providing additional accommodation should be explored.

5.47. Proposals that would result in the felling of trees or would extend within the canopy of such trees or in close proximity must be accurately shown in the submitted block plan, and include the crown spread.

5.48. Extensions will not normally be allowed where the extension will be overshadowed by surrounding tree, as this could lead to pressure to remove these trees.

5.49. Private garden space should be considered when extending. The minimum garden area acceptable to the council is 50 square metres of useable garden space (private and enclosed).

6. OTHER CONSIDERATIONS AND INFORMATION

GREEN BELT

6.1. Green Belt's aim, as set out by the NPPF is that- *'The fundamental aim is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and permanence'*.

DALP 2022 Policy CS(R)6: Green Belt

1. A Green Belt is designated around the urban areas and new allocations of both Runcorn and Widnes/Hale.
2. The Green Belt boundary is defined on the Policies Map. Within the Green Belt, planning permission will not be granted for inappropriate development, except in very special circumstances, in accordance with national policy.
3. Development proposals for the sites removed from the Green Belt and allocated or safeguarded in this plan should include compensatory improvements to the environmental quality and accessibility of remaining Green Belt land to offset the impact of the removal of the land from the Green Belt.

6.2. Extensions should not result in disproportionate additions over and above the size of the original building. The interpretation of this policy will vary according to the character of the property. As a general guide, extensions which increase the volume of the original house by more than 30%, are unlikely to be acceptable.

6.3. Special regard should be given to matters of siting, height, scale, design and use of materials in order to maintain the openness and visual integrity of the Green Belt.

6.4. Planning applications for extensions should be accompanied by drawings that demonstrate the size and volume of the original building. Very Special Circumstances will have to exist to justify any exception to the strict control of development in the Green Belt. It is the responsibility of the applicant to provide this justification.

6.5. The use of Halton Borough Council's pre-application services '[What you can expect from your pre-application advice](#)' is recommended to mitigate any issues that may arise concerning the above.

CONSERVATION AREAS AND LISTED BUILDINGS

6.6. Extensions to Listed Buildings and/ or within Conservation Areas are likely to be particularly sensitive. In particular, the design standards applied may be stricter than those previously outlined in this policy document. Most works to Listed Buildings will require Listed Building Consent and planning permission.

THE PARTY WALL ACT

6.7. The Act provides a framework for preventing and resolving disputes in relation to party walls, boundary walls and excavations near neighbouring buildings. This falls outside of planning control, as it is a civil matter. It does not resolve boundary disputes but is intended to manage the process of work to or up to the party boundary and includes reference to the right of access to neighbouring properties to carry out works. An [explanatory booklet](#) is available should further details be required.

BUILDING REGULATIONS

6.8. In addition to the need for planning permission, house extensions may also require approval under the Building Regulations. These regulations are designed to ensure appropriate standards of design and construction are employed. Matters that may need to be additionally considered under building control may include septic tanks, insulation and solar panels.

6.9. Approval under these regulations is a separate issue and for further advice, please contact the Council's Building Control Division on 0151 511 6565 or email building.control@halton.gov.uk

PROTECTED SPECIES, SPA AND SSSI

6.10. Species such as bats, which use roof spaces as roost or hibernation sites, and birds which nest under the eaves of buildings are protected from harm by law. Applications for development that involve alterations to existing roof spaces, listed buildings, pre-1939 houses, barns or other traditional buildings and, any work involving disturbance to trees or hedges may have an impact upon protected species.

6.11. If the presence of bats or birds is suspected then an application may need to include a survey report, together with details of mitigation measures to safeguard the protected a species from the adverse effects of the development.

6.12. The Council may impose planning conditions or obligations on planning permissions to ensure that these measures are implemented. Such measures may include, for example, avoiding carrying out any work during the bird breeding season, or the inclusion of artificial nest boxes as part of the development.

6.13. The Council may refuse permission for developments where inadequate survey and mitigation details are included with an application (comply or justify).

6.14. Other areas of consideration may include SPA (Special Protection Areas), (SSSI) Sites of Specific Scientific Interest, and Sites of Biological Importance.

6.15. For further information please visit the Natural England website:

www.naturalengland.org.uk

FENCES AND VISIBILITY

6.16. As a general rule, fence heights can be a maximum of 2 metres. Anything higher than this will require planning permission.

6.17. If the fence is next to a public highway (e.g. road or footpath) then the maximum height is reduced to 1 metre, and anything more will require planning permission.

6.18. Conservation Areas may have additional restrictions, so it is important to get advice before you begin any work on a property in a specified Conservation Area or Listed Building.

HIGHWAYS

6.19. Some highway restrictions may limit where and how you can extend. If the Council as the Highways Authority deem the proposal as unsuitable, the application can be refused. Reasons for refusal could be due to parking standards, highway safety, access or drainage.

6.20. More information on Highway Restrictions can be found in the [Vehicle Crossing Guidance \(2022\) document](#).

FLOOD RISK

6.21. It is important to note that any paved area larger than 5m², in relation to the extension between the front of the house and the highway, will require the area to be surfaced with a porous material, or provide provision for surface water runoff. Should these requirements not be met, then planning permission will be required. More guidance can be found [here](#).

6.22. The Environment Agency recommends that in areas at risk of flooding other considerations be given to the incorporation into the design and construction of the development of flood proofing measures. Flood risk standing advice (FRSA) states that extensions within flood zones 2 and 3 require a site-specific Flood Risk Assessment. Flood proofing recommended resources include:

- [Government Guidance on flood resilient construction](#)
- [CIRIA Code of Practice for property flood resilience](#)
- [British Standard 85500 – Flood resistant and resilient construction](#)

6.23. Additional guidance can be found on the Environment Agency website:

www.environment-agency.gov.uk

6.24.It should also be noted under the terms of the Water Resources Act 1991 and the Land Drainage Byelaws, the prior written consent of the Agency is required for any proposed works or structures either affecting or within the 8 metres of the tidal or fluvial flood defences.

ENERGY AND WATER EFFICIENCY

6.25.Proposals are encouraged to incorporate sustainable measures, in order to contribute to sustainable development and climate change mitigation.

6.26.Opportunities to integrate water efficiency and source control measures on all hard standing areas are encouraged. These measures also encourage property flood resilience, including:

- Green roofs
- Water butts
- Rain gardens

6.27.For more information on water efficiency, visit [The UK Rain Gardens Guide, managing water in our towns and cities](#)

6.28.Whilst lowering the cost of energy used by the extension, the development can also help reduce climate emissions and aid in the borough's climate mitigation. Examples that may be useful in household extensions include:

6.29.Using materials which exceed the minimum energy thermal efficiency requirements of Building Regulations ('[BRE green guide to specification](#)') provide useful guidance for current building requirements.

7. USEFUL LINKS AND ADDITIONAL INFORMATION

NATIONAL GUIDANCE

[Lawful Development Certificates](#)

[National Design Guide](#)

[National Model Design Code](#)

[National Planning Policy Framework](#)

[Permitted Development Rights for householders: Technical Guidance](#)

[Planning Portal: Do I need permission?](#)

[Third Party Wall Act: Explanatory booklet](#)

[Guidance on the permeable surfacing of front gardens](#)

DESIGN GUIDANCE

[BRE Green Guide to Specification](#)

[British Standard 85500 \(2015\) Guide to improving the flood performance of buildings](#)

[Building in context: CABI and English Heritage](#)

[CIRCA: Code of Practice for Property Flood Resilience](#)

[UK Rain Garden Guide](#)

[United Utilities: Standard Conditions for Works Adjacent to Pipelines](#)

HALTON BOROUGH COUNCIL DOCUMENTS

[Halton Delivery and Allocations Local Plan \(2022\)](#)

[Vehicle Crossing Guidance \(2020\)](#)